



WIRRAWAY

THORNTON

BUILDER DESIGN GUIDELINES



GENERAL GUIDELINES

INTRODUCTION

ARCHITECTURAL VISION

Wirraway at Thornton draws on the beauty of the development's surrounding green spaces and water bodies to create a natural 'liveable community' that promotes sustainable living, healthy lifestyles and safety. Homes should reflect a Contemporary Australian vernacular with lush gardens, porches, pitched roofs and gables, and reflect the surrounding region through the use of natural feature materials such as weatherboard and stone. Wide verandahs are encouraged to activate the front yard as a point of neighbourhood interaction and to provide 'eyes on the street' for the safe use of public streets and parks.

All homes within Wirraway at Thornton should be consistent with the principles outlined in the architectural vision.

OBJECTIVE

These design guidelines form part of the contract of sale and are applicable to all new residential development within Wirraway at Thornton. The guidelines aim to produce a consistent overall aesthetic, defining the criteria against which building plans will be assessed for design approval.

Innovation in built form and variety in architectural expression is encouraged. As such, the developer reserves the right to amend the contract of sale and consider applications that vary from the specific requirements of the design guidelines if, at the discretion of the developer, the design exhibits architectural merit; supports the development's architectural vision; and a written justification is provided.

COMPLIANCE

The design guidelines complement, and shall be read in conjunction to, existing statutory or local authority requirements. It should be noted that meeting these design guidelines and securing approval from the Wirraway at Thornton design team does not constitute building approval from the Maitland City Council. Applicants should ensure that their plans meet all of the Council's requirements and that sufficient documentation is provided to allow the Council to properly consider each application.



Example of a contemporary Australian Vernacular home

APPROVAL PROCESS

DEVELOPER'S APPROVAL PROCESS

The flow chart to the right illustrates the steps for the applicant to take to obtain Developer's design approval, prior to lodging an application for Council's statutory approval. After gaining design approval from the Developer, each builder is required to submit an application to the Maitland City Council to assess the house plans against current statutory requirements. Design approval from the Developer's design team does not exempt any building or statutory regulations, and is the builders' responsibility to ensure compliance with these regulations.

Please note that the Wirraway at Thornton design coordinator does not assess your home against the Building Code of Australia or any relevant Australian Standards. It is the responsibility of your designer, builder or building certifier to ensure your home complies with all the statutory requirements of construction.

DOCUMENTATION

Two sets of the following documents are required to be submitted to the Wirraway at Thornton design coordinator for assessment against the requirements of the design guidelines:

- Site plan (1:200) including:
 - Location, dimensions and areas of all proposed buildings
 - Setbacks to all boundaries and private open space dimensions
 - Original and proposed levels
 - Lot boundaries, dimensions, area and north point
 - Location of driveways and all hardscaped areas
 - Location of services such as solar panels and air conditioner compressor units etc
 - Details of proposed retaining walls
 - Location and details of proposed fencing.
- Floor plan (1:100)
- Landscape plan (1:100)
- Elevations (1:100)
- Material and colour schedule.

STEP ONE

The applicant lodges their documentation with the Wirraway at Thornton design coordinator, who assesses their house design for compliance with the design guidelines, Council requirements and other statutory plans. Approval from the design coordinator does not constitute building approval from the Maitland City Council.

STEP TWO

If the application complies with the design guidelines, your plans will be approved by the Wirraway at Thornton design coordinator. An approved set and a confirmation letter will be returned to the applicant, with one set retained by the developer as a record.

If the application requires modification to comply with the design guidelines, the applicant will be notified and given the opportunity to amend the plans to re-lodge with the Wirraway at Thornton design coordinator for design approval.

STEP THREE

Once the application has been approved by the Wirraway at Thornton design coordinator, the applicant lodges the approved documentation with the Maitland City Council for Development Application and Construction Certificate approval.

Should the proposal be deemed as satisfying the criteria for 'Complying Development', the plans may be submitted to the Maitland City Council or an approved certifier of the Principal certifying authority.

All homes within Wirraway at Thornton, including those using the 'Complying Development Code', are required to gain design approval from the Wirraway at Thornton design coordinator before submitting to Council or a Certifier.

BUILDING ORIENTATION AND SITING

DENSITY CONSIDERATIONS

To maintain the desired architectural character of Wirraway at Thornton, only one home is permitted per lot. Re-subdivision of lots are not permitted unless otherwise specified or approved by the developer.

SITE CONSIDERATIONS

Designers and home owners must refer to the *Maitland Development Control Plan - Part C - Design Guidelines* for special requirements of their lot in particular reference to:

- building setbacks
- boundary wall requirements
- site coverage and unbuilt areas
- building height, bulk and scale.

All homes within Wirraway at Thornton are to be classified as a 'Single detached dwelling house' within the Maitland DCP.

PRIVATE OPEN SPACE

Private open space must be provided that will form the outdoor living area of the dwelling, and will be typically turfed or vegetated to provide opportunities for play and relaxation.

- Minimum dimension of 2.5 metres
- Minimum 20 per cent of lot area
- Generally to be located to the rear of the dwelling.

PRINCIPAL PRIVATE OPEN SPACE

The principal private open space will be part of your private open space, and will typically encompass a paved or turfed area for outdoor seating and dining.

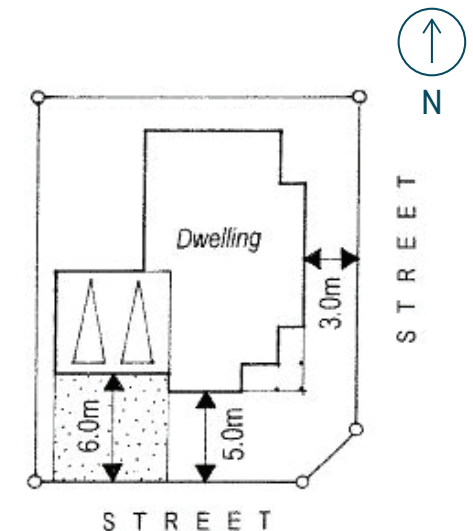
- Must be directly accessible from living areas
- Minimum area of 25 square metres with minimum dimension of 3 metres
- Must be relatively level with a maximum slope of 1:10
- May include paved/decked alfresco areas covered by a roof
- Is permissible within the front setback if required to achieve solar access provisions.

SOLAR ACCESS

Main indoor living areas and principal private open space areas are to be oriented towards the north.

At least 50 per cent of north facing windows to the living areas of the subject and neighbouring dwellings shall receive not less than 3 hours of sunlight between 9am and 3pm on the Winter Solstice (June 21). Where existing overshadowing is greater than this, sunlight should not be reduced by more than 20 per cent.

At least 50 per cent of the principal private open space of the subject and neighbouring dwellings shall receive not less than 3 hours of sunlight between 9am and 3pm on the Winter Solstice (June 21). Where existing overshadowing is greater than this, sunlight should not be reduced by more than 20 per cent.



EXAMPLE 1 CORNER LOT - DETACHED

Maitland City Council single dwelling street setback requirements. Refer to *Maitland Development Control Plan - Part C - Design Guidelines* for detailed requirements.

Source: *Maitland Development Control Plan - Part C - Design Guidelines - Residential Design*.

BUILDING ORIENTATION AND SITING



1 LIVING ZONE POSITIONING

A living zone is encouraged to the front of the dwelling to provide passive surveillance of primary and secondary streets. In the case of corner lots, articulation and primary elevation features should wrap around to address the secondary street.

2 LIVING ZONE ORIENTATION

Dwellings should be orientated to ensure good access to northerly winter sun. Primary living zones should have north facing windows to improve thermal comfort and encourage natural light within the home.

3 VERANDAH

A verandah is encouraged to the front of the dwelling to provide protection from the summer afternoon sun, as well as creating a zone for street activation and neighbourhood interaction.

4 BEDROOMS

Bedroom zones should be located to the south to create darker, cooler spaces for sleeping, with the additional benefit of encouraging cross ventilation through the home.

5 GARAGE

Garages should ideally be located on the southern side of the block, however on corner lots, garages are to be located on the lot boundary opposite the corner truncation. Garages are to be located behind the main building line at all times.

6 PRINCIPAL PRIVATE OPEN SPACE

The principal private open space should serve as an extension of internal living areas and should be located to the north to take advantage of winter sunlight.



NOTE: Setbacks indicative only. Siting to comply with the Maitland Development Control Plan.

DEVELOPER WORKS AND SITE RETAINING

EXISTING RETAINING WALLS

Where a site has been graded and boundary retaining has been provided by the developer, no estate retaining wall shall be altered or removed without developer approval.

PROPOSED RETAINING WALLS

Where a site has not been graded and retained by the developer, the purchaser may, at their own expense, grade and retain their lot. The design and location of any proposed retaining wall must be approved by the developer, and be consistent with the following provisions, as well as the 'Bulk earthworks and retaining walls' requirements of the *Maitland Development Control Plan*.

- Any new retaining wall visible from a street or public space shall be of masonry construction and match the material and colour of existing walls. Type and colour to be approved by developer prior to construction
- Retaining walls are to be a maximum of 1 metre high. Retaining wall heights greater than 1 metre may be approved if structural certification has been provided by an Accredited Certifier
- Where a retaining wall is proposed on a lot boundary, the maximum fill allowable is 600 millimetres
- Where a retaining wall is proposed on a lot boundary, the maximum cut allowable is 900 millimetres.

All site works must comply with the 'Bulk earthworks and retaining walls' requirements of the *Maitland Development Control Plan*. Refer to the *Maitland Development Control Plan - Part C - Design Guidelines - Residential Design* for detailed requirements.



ARCHITECTURAL FEATURES AND APPEARANCE

FRONT ELEVATION ELEMENTS

For street fronting lots, the front elevation must be visible from the public realm and include at least one major opening to a habitable room.

For lots without a direct street frontage, at least one major opening to a habitable room must overlook the driveway with a direct sightline to the primary street.

Dwellings on corner lots shall address both streets through their design by extending the primary elevation features (colours/materials) onto the secondary street elevation where forward of a return fence, and incorporating openings on both walls of a corner habitable room.

Where lots front or adjoin public open space, a living area and verandah element is required to the front and/or side of the dwelling overlooking the public open space to provide passive surveillance. Refer to 'Neighbourhood themes' (page 17) for further details.

The dwelling must provide a highly visible and well-defined front door and entry element, such as a porch, verandah or portico.

All garages and car accommodation are not to be located forward of the main building line or any feature facade elements.

ARTICULATION

Homes shall have articulated facades by including indentations and projections in the floor plan and roof design to create interest. At least 1 step in the floor plan mirrored in the roof design of a minimum of 600 millimetres must be provided (excluding the garage).

DESIGN FEATURES

A minimum of two design features must be incorporated into the primary, and in the case of corner lots, secondary street elevations. These may include:

- Entry feature such as a portico, verandah or substantial porch or balcony
- Verandah with a separate roof and supporting posts, pillars or piers to a minimum 30 per cent of the front elevation (excluding garage/carport), and at least 1.5 metres deep
- Elevated eaves height with a feature recess or similar detail to the projected part of the wall
- Secondary colour or material e.g. contrasting render, feature brick, lightweight cladding, stone etc. (minimum 20 per cent of the elevation)
- Roof feature such as a gablet or end gable with feature cladding and end finial
- Moulding, corbelling or quoining to windows and doors.

NOTE:

Approval of front elevation treatment is at the discretion of the developer. Other features creating visual interest may be considered based on architectural merit.

Projecting blade walls are not permitted to be utilised as an architectural feature.

Historical mock-up decorative elements such as wrought iron, decorative balustrades and ornate timber works are not permitted.

Simple and contemporary decorative elements that reference a modern Australian vernacular are encouraged. These elements may include timber and metal battens and louvres, verandah posts, feature brickwork and stone elements.



ROOF FORM

ROOF TYPES

Generally, the principle roof of a dwelling is to be of traditional hip and gable form.

Skillion and flat roofs are not to be visible from the primary or secondary streets.

Roof material to be concrete or clay roof tiles or flat profile metal sheeting (e.g. 'Colorbond' roofing).

Zincalume roof material is not permitted.

NOTE:

Minor areas of skillion roofs and parapet walls may be considered for approval based on architectural merit, subject to approval at the discretion of the developer.

ROOF PITCH

A minimum 25 degree pitch and maximum 35 degree pitch is required for hipped and gabled roofs.

EAVE OVERHANG

450 millimetre minimum eave overhang is generally required to all areas of the dwelling, unless otherwise stated.

Flush eaves are permissible to sections of the dwelling with a zero lot line and to non-habitable areas such as a garage, store, verandah or porch.

300 millimetre minimum gable overhang is required.

NOTE:

An eave overhang is recommended to the front of garages to simplify roof form, and create articulation and shadows to the front elevation.



GARAGE AND DRIVEWAY

GARAGE/CARPORT GENERAL REQUIREMENTS

A maximum of a two car garage is permitted on any lot.

All garages and car accommodation are to be located a minimum of 1 metre behind the main building line.

Car accommodation may be aligned with the main building line provided a substantial entry feature (verandah, portico, balcony etc.) projects a minimum of 1 metre forward of the garage.

GARAGE/CARPORT WIDTHS

Garage and carport widths shall not exceed 50 per cent of the lot width.

Single or tandem garages/carports are permitted on lot widths less than 13 metres.

Lots 13 metres or wider must contain a double garage/carport sufficient for at least two motor vehicles side-by-side, unless otherwise approved at the discretion of the developer.

GARAGE/CARPORT APPEARANCE

The garage shall be integrated with the dwelling and must be consistent with the form, materials and colours of the home.

Carports are permissible, provided they are integrated with dwelling and are consistent with the form, materials and colours of the home.

Open carports are required to have a fence and gate to the rear, separating the rear yard from the carport. Fence and gate are to be complementary to the dwelling and estate fencing, subject to developer's approval.

Garage and carports must include a garage door prior to occupation.

Triple garages are not permitted.

DRIVEWAY REQUIREMENTS

All crossovers and driveways must be completed prior to occupation.

Driveways and verge crossovers must be of complementary colours and materials to the main dwelling. Refer to 'Materials and colours' (page 13) for further details.

Crossovers from the street shall be a maximum width of 5 metres.

PEDESTRIAN CONNECTIVITY

Pedestrian entry to the home is recommended to be separate to the vehicular entry (e.g. pedestrian path through the front yard). Otherwise, a pedestrian path leading from the driveway to the front door is required.

Footpath material and colour to be complementary to the dwelling and driveway, subject to approval by the developer.

Footpaths are to remain as a continuous element along the street and are not to be replaced by driveways.

NOTE:

Garage and driveway designs must comply with the requirements of the *Maitland Development Control Plan - Part C - Design Guidelines - Residential Design*.



ANCILLARY

APPEARANCE

Where security screening to windows and doors are required, 'Crimsafe' or equivalent security mesh products are to be used to the primary and secondary elevations. Use of roller or security shutters to publicly visible areas are not permitted.

Rubbish disposal bins are to be located behind a side fence or gate, except on days allocated by the local authority for rubbish collection from the property.

All service elements such as air-conditioning units, hot water units, television/radio antennas, satellite dishes, rain water tanks or clothes lines are not permitted to be visible from any public street or thoroughfare.

Solar hot water units and Solar PV cells are not to be visible from any public street or thoroughfare and are to be integrated with and match the profile and pitch of the roof. For lots with a northern frontage, solar facilities are to be orientated to the west, unless it can be demonstrated that the facilities are unobtrusive and can be incorporated within the roof line.

Gas and water meters and plumbing pipes are to be concealed from the street. Meter boxes must match the wall colour.

Where downpipes to the front elevation are unavoidable, they shall be concealed, painted to match the wall colour or treated as an architectural element (e.g. with rain heads).

OUTBUILDINGS

All outbuildings shall be constructed behind the primary and secondary street setback lines and must be located behind any boundary fencing.

Outbuildings less than 24 square metres must be in complementary materials and colours to the main dwelling.

Where outbuildings are greater than 24 square metres, they shall be constructed of the same materials, colours and finishes of the main dwelling.

FENCING

Front fencing is generally not permitted within the development.

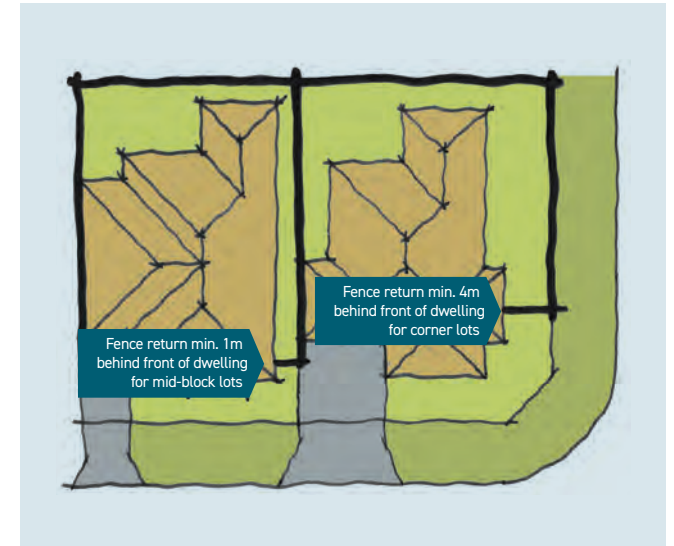
Side and rear fencing to be a timber paling fence at a maximum of 1.8 metres high.

Side fencing must return to the house a minimum of 1 metre behind the front wall of the dwelling.

Provision of a return gate in lieu of a return fence is recommended. Style and colour of selected gate is to be complementary to the dwelling and side fence.

CORNER LOT FENCING

Fencing to a secondary street must be setback a minimum of 4 metres from the main building line and be a timber paling fence at a maximum of 1.8 metres high. Permeable fencing with horizontal or vertical slats may be permissible to the secondary street, subject to approval by the developer.



Example of a timber paling fence with feature posts



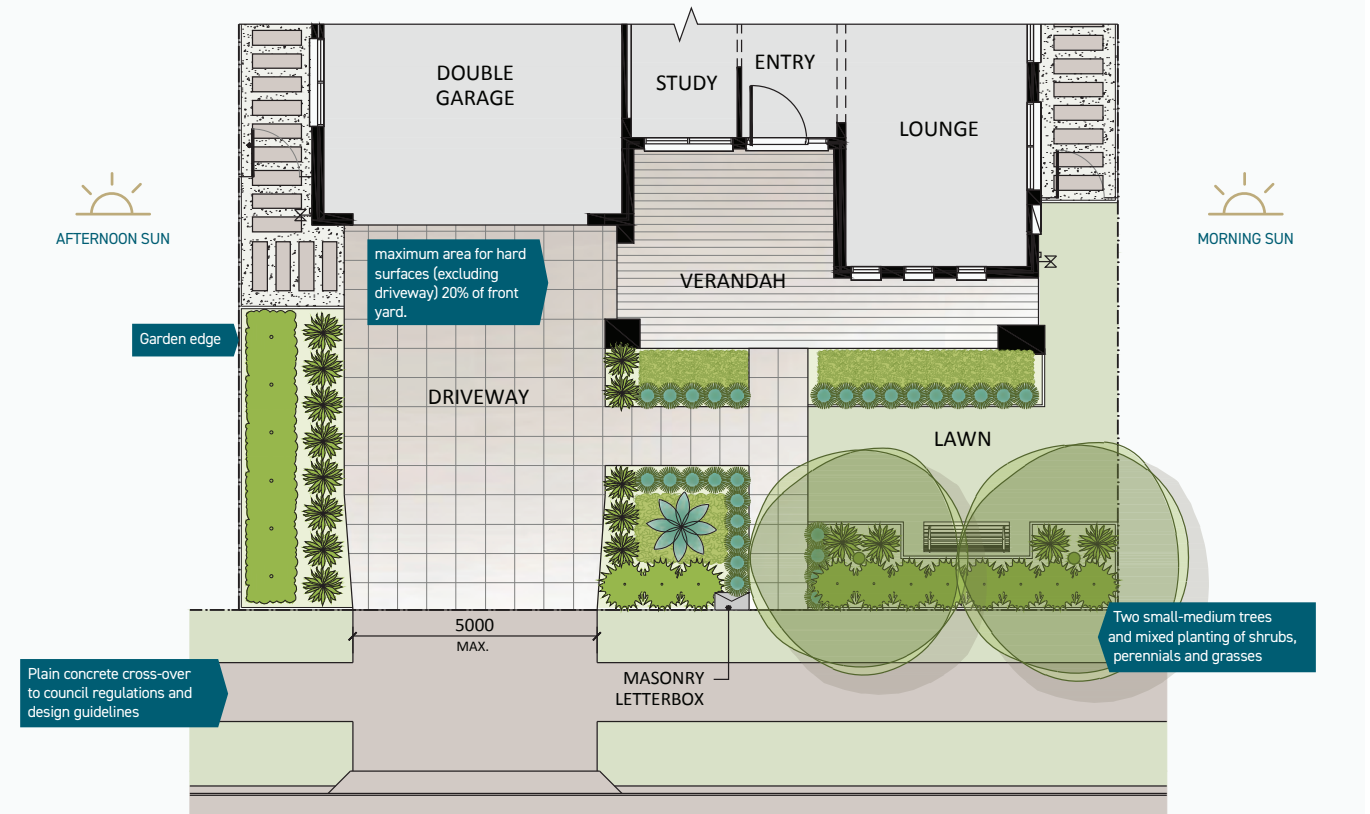
Permeable return gate and fence in complementary style and colour to dwelling and side fence

LANDSCAPING

FRONT LANDSCAPING

- All front garden areas must be properly landscaped with a combination of turf, shrubs and trees within three months of occupation of the home.
- A minimum of 25 per cent of the front yard should be planted with native or low water use plants.
- A maximum 20 per cent of the front yard should be treated with hard paving, gravel, timber decking, mulches or the like. This excludes the driveway. These treatments should flow from internal spaces of the home with connection to front access points from the street.
- A maximum of 30 per cent of the front yard should be treated with turf.
- A minimum of two trees are to be planted in the front yard of each lot. Each tree is to have a minimum pot size of 25 litres (300mm) and approximate height of 1 metre.
- Trees are to be planted in an edged garden bed and not directly within the turf area. Avoid planting trees close to dwellings, hard paved areas or over underground pipes.
- Minimum of 500 millimetre wide planting between driveway and side boundary is to be included in the design.
- Turf is only permitted next to the driveway where 1 metre of turf plus 1 metre wide of garden to the boundary can be achieved.

FRONT LANDSCAPING



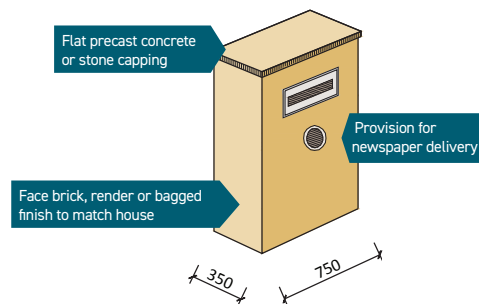
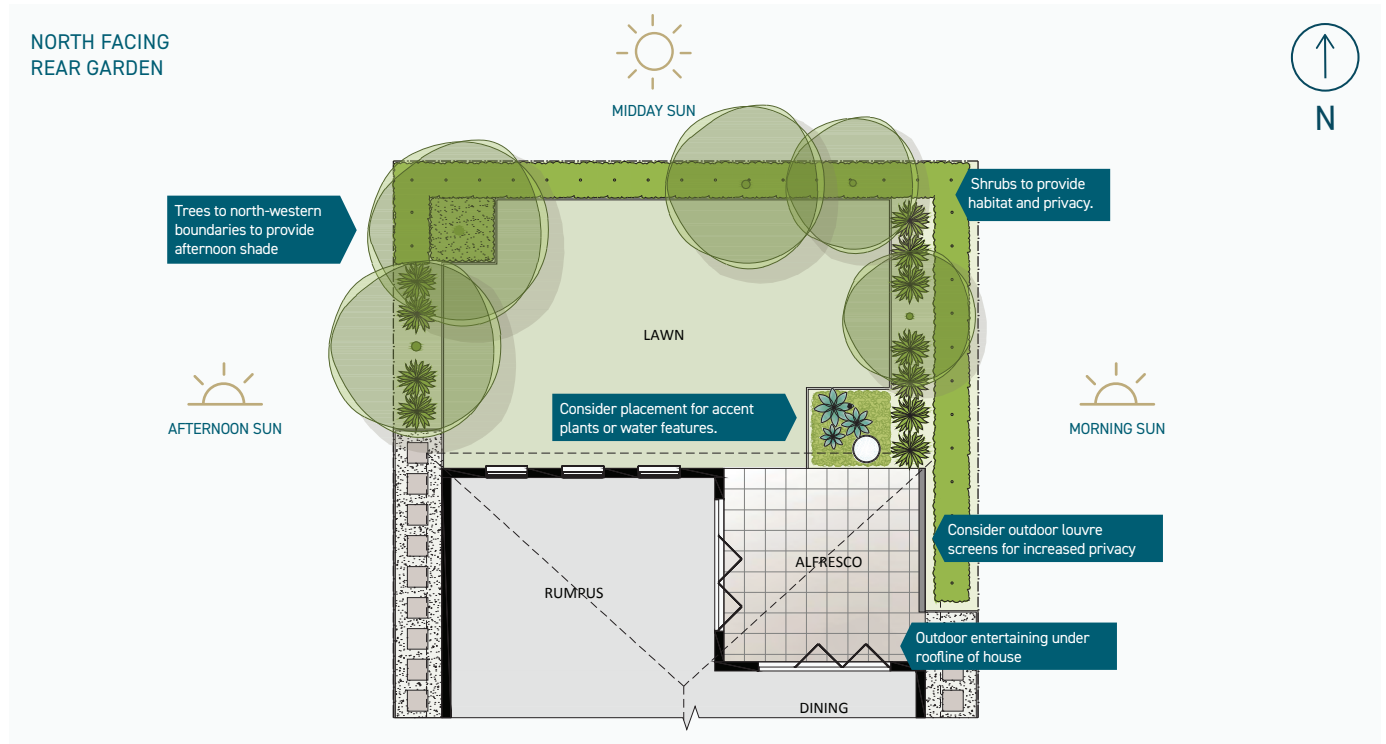
LANDSCAPING

REAR LANDSCAPING

- Rear landscaping should be a combination of turf, screening shrubs and trees to the rear of the garden, with paved entertaining areas close to the dwelling.
- A minimum of 25 percent of the rear yard should be planted with native or low water use plants.
- A minimum of one canopy capable of growing to at least 10 metres is to be planted in the rear yard of each lot. The tree is to have a minimum pot size of 25 litres (300mm) and approximate height of 1 metre.
- Deciduous trees should be planted to the north, north-west and western elevations to shade the dwelling and garden from the summer afternoon sun, whilst allowing desirable winter sunlight through.
- Hardscapes should be kept to a minimum and should generally be located within the principle private open space and to the side of the home, where required.
- Paved entertaining spaces should flow seamlessly from indoor living areas and be shaded with a pergola or like structure.
- Deciduous vines should be used on pergolas facing west, north and east to encourage seasonal shading.

LETTERBOX REQUIREMENTS

- A built in masonry letterbox in developer approved style and colour is required to the front of all dwellings
- Letterboxes should be considered as part of the landscape design, and should be utilised as a formal element to frame and contain vegetation.



LETTERBOX

MATERIALS AND COLOURS

COLOURS

Natural, warm, earthy materials and colours are to be used throughout the development to reflect the natural surrounds of the area. Selected highlight colours are to be introduced to bring diversity and interest to each dwelling.

Paint and render colours should be in line with the provided palette. One background, accent and trim colour should be selected from the preferred palette.

Background colour is to be used predominantly for the main wall, with accent colour to be used on the feature wall, and trim colour to be limited to small elements such as gutters, downpipes, window frames, doors, etc.

Chosen face bricks must be complementary to the selected colour palette and are to be generally flat-faced, square-edged and not deeply textured.

MAIN WALL

MATERIAL

Standard-sized face brick
Rendered and painted masonry
Lightweight cladding

COLOUR

Neutral, soft, warm base colours
Bright or primary colours are not permitted

FEATURE WALL

MATERIAL

Slimline or equivalent face brick
Rendered masonry in contrast colour
Painted weatherboard
Natural or painted timber
Stone
Textured blockwork

COLOUR

A lighter complementary colour to the main wall
A darker contrast colour to the main wall
Bright or primary colours are not permitted

NOTE

A minimum of two materials are to be selected from the above lists, one from each category.

Material and colour selection approval is at the discretion of the developer.

ROOF

Custom orb profile required for metal roofs.

Flat or shingle style profile required for tiled roofs.

GARAGE DOOR

To be sectional overhead doors with a streamlined horizontal profile.

Timber or steel finish in complementary colours to the dwelling.

DRIVEWAYS

Driveway materials from the garage to the boundary is to be selected from brick, concrete or stone pavers in a charcoal or grey colour.

Crossovers are required to be of plain grey concrete.

MATERIALS AND COLOURS

PALETTE 1 - EARTH

PAINT AND RENDER COLOURS

- 1.1 Background Colour
Pollinate P15E1
- 1.2 Background Colour
Balsa Stone P15D3
- 1.3 Accent Colour
Osso Bucco P15D5
- 1.4 Accent Colour
Wet Sand P13E6
- 1.5 Trim Colour
Morass P15C9
- 1.6 Trim Colour
Arrow Shaft P15A9

ROOF COLOURS

- 1.7 Surfmist
- 1.8 Evening Haze
- 1.9 Paperbark
- 1.10 Classic Cream
- 1.11 Cove

PALETTE 2 - GRASS

PAINT AND RENDER COLOURS

- 2.1 Background Colour
Pale Celadon P19A1
- 2.2 Background Colour
New Neutral P19B2
- 2.3 Accent Colour
Tarzan Green P20A4
- 2.4 Accent Colour
Olive Leaf P19C5
- 2.5 Trim Colour
Avocado Pear P19A9
- 2.6 Trim Colour
Palo Verde P20A7

ROOF COLOURS

- 2.7 Woodland Grey
- 2.8 Surfmist
- 2.9 Evening Haze
- 2.10 Dune
- 2.11 Mangrove

Note: White Dulux colours have been specified for paint and render colours, other paint brands in equivalent colours are permissible. Half and quarter tints of selected colours are permissible.

PALETTE 3 - WOOD

PAINT AND RENDER COLOURS

- 3.1 Background Colour
Limed White PN1D7
- 3.2 Background Colour
Toffee Fingers P11B5
- 3.3 Accent Colour
Bunker P12B9
- 3.4 Accent Colour
Squirrel P09D9
- 3.5 Trim Colour
Pawn Broker P04B
- 3.6 Trim Colour
Peppercorn Rent P12A9

ROOF COLOURS

- 3.7 Terrain
- 3.8 Jaspar
- 3.9 Gully
- 3.10 Cove

PALETTE 4 - STONE

PAINT AND RENDER COLOURS

- 4.1 Background Colour
White Duck PN1B7
- 4.2 Background Colour
Subdue PN2C4
- 4.3 Accent Colour
Stony Creek PN1B8
- 4.4 Accent Colour
Army Issue PN1F8
- 4.5 Trim Colour
Namadji PN2E9
- 4.6 Trim Colour
Whitsunday Island PN2A1

ROOF COLOURS

- 4.7 Jaspar
- 4.8 Gully
- 4.9 Cove
- 4.10 Evening Haze
- 4.11 Dune
- 4.12 Wallaby

PALETTE 5 - SKY

PAINT AND RENDER COLOURS

- 5.1 Background Colour
Blue To You P39A1
- 5.2 Background Colour
Atelier 940A2
- 5.3 Accent Colour
Blueprint P38B7
- 5.4 Accent Colour
Evening East P40A6
- 5.5 Trim Colour
Lexicon PN2F1
- 5.6 Trim Colour
Atlantic Charter P42A9

ROOF COLOURS

- 5.7 Ironstone
- 5.8 Monument
- 5.9 Basalt

PALETTE 6 - SHADOWS

PAINT AND RENDER COLOURS

- 6.1 Background Colour
Silkwort PG2C2
- 6.2 Background Colour
Tranquil Retreat PG1F1
- 6.3 Accent Colour
Tristan PG2C5
- 6.4 Accent Colour
Wistaw PG1E4
- 6.5 Trim Colour
Terrace White PN2H2
- 6.6 Trim Colour
Domino PG1A8

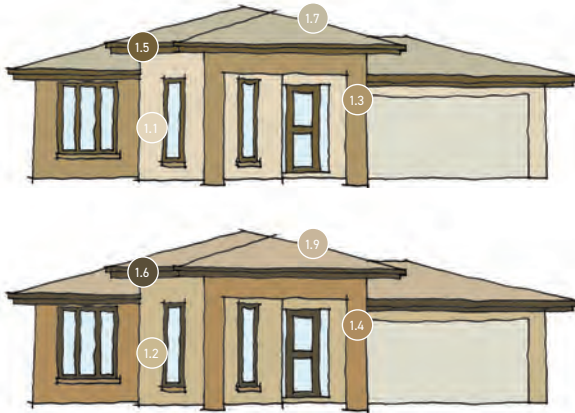
ROOF COLOURS

- 6.7 Woodland Grey
- 6.8 Shale Grey
- 6.9 Windspray
- 6.10 Wallaby
- 6.11 Basalt
- 6.12 Monument

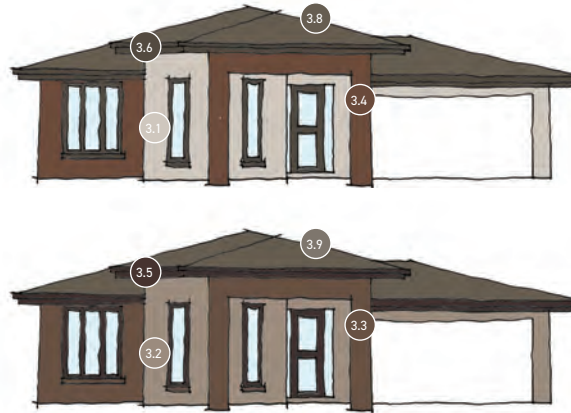
Note: Colorbond colours have been depicted for roof colours. If a tiled roof is selected, colour to be of similar shade to specified colours.

MATERIALS AND COLOURS

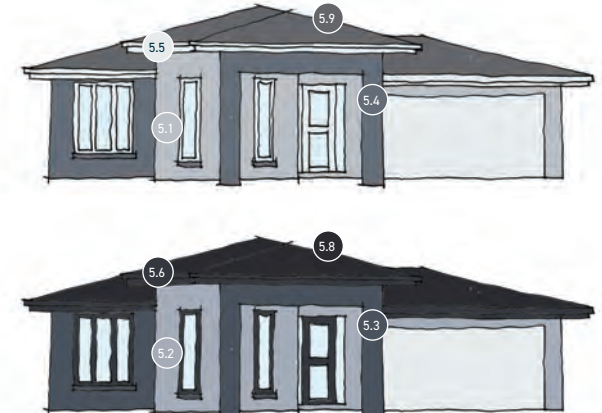
PALETTE 1 - EARTH



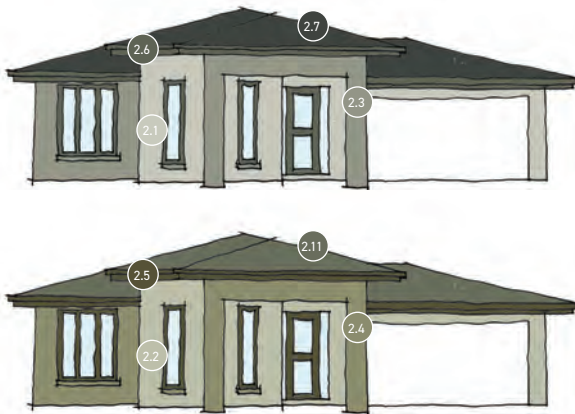
PALETTE 3 - WOOD



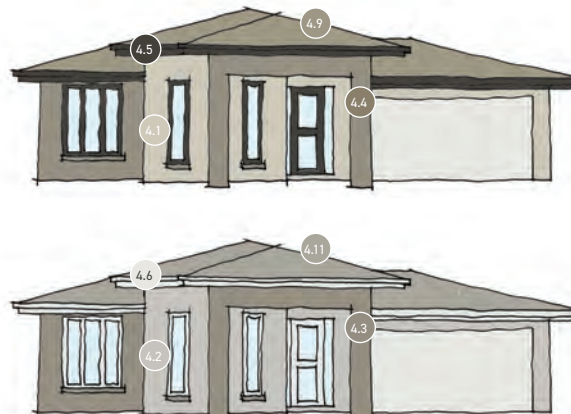
PALETTE 5 - SKY



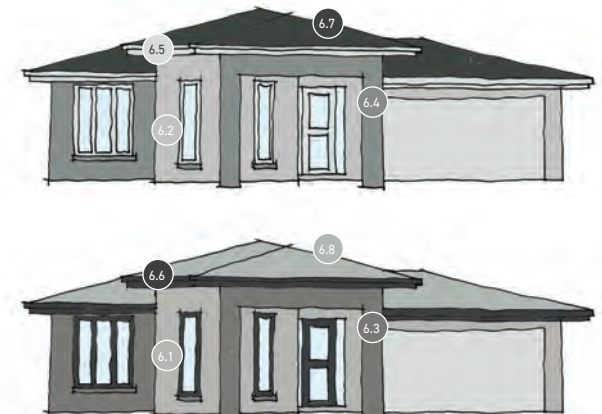
PALETTE 2 - GRASS



PALETTE 4 - STONE



PALETTE 6 - SHADOWS



Suggestive dwelling appearance based on specified colour palettes. Dwelling appearance indicative only, as a mix of materials are required for final approval. Images to be used as examples to guide palette selection.



NEIGHBOURHOOD THEMES

A MASTERPLANNED COMMUNITY



KEY

- DRESS CIRCLE LOTS
- PARKLAND LOTS
- TRADITIONAL LOTS
- COMMUNITY PARKLAND
- NATURAL WETLAND
- CYCLE TRACK
- OVAL
- BASKETBALL HALF COURT
- PLAY SPACE
- SHADED SEATING
- HOMEWORLD HUNTER
- WIRRAWAY LAND SALES OFFICE

DRESS CIRCLE PRECINCT

DRESS CIRCLE PRECINCT

Dress circle lots are the 'creme de la creme' of the development and are prominently located at highly visible locations. These homes are of particular importance as they act to form the development's aesthetic.

To reflect the prestige of dress circle lots, homes are required to comply with all aspects of the design guidelines, with the following additional conditions applicable.

DESIGN FEATURES

A minimum of two design features are to be incorporated to all visible elevations, to be selected from provided 'Features and appearance' schedule (page 8). Secondary material or colour is not to be considered as an architectural feature as it is a mandatory requirement for all dress circle lots.

A minimum of three materials or colours are required to all publicly visible elevations, excluding roofs, doors, frames, etc. To be selected from the selected 'Materials and colours' schedule (page 13).

NOTE:

All homes must incorporate at least one highlight material to all visible elevations. A rendered home with feature rendered walls painted in contrasting colours will not be considered as acceptable.

Cream coloured face brick is not permitted as a highlight material.

ROOF MATERIAL

Dress circle roofs are to be of flat profile metal sheeting in approved colours.

Roof tiles are not permitted.



PARKLAND PRECINCT

HEADING

Parkland lots are typically located adjoining or overlooking parkland or bushland, boasting desirable views. Since these lots are located adjacent to high-amenity natural reserves, they will be highly visible, and as such, require additional facade features to reflect their premium location.

Parkland homes are required to comply with all aspects of the design guidelines, with the following additional conditions applicable.

DESIGN FEATURES

All parkland homes must include a front verandah. This will allow the occupant to have an outdoor space at the front of their home to relax and take advantage of their views, as well as allowing the opportunity for neighbourly interaction to promote safer streets and parks. This verandah must have a minimum 1.5 metre deep usable space to a minimum of 30 per cent of the front elevation (excluding garage/carport) with a separate roof and supporting posts, pillars or piers.

In addition to the requirement of a verandah, a minimum of a further two design features are to be incorporated to all visible elevations, to be selected from provided 'Features and appearance' schedule (page 8).





APPENDIX

DESIGN APPROVAL CHECKLIST

DESIGN GUIDELINE REQUIREMENTS	COMPLIANCE		COMMENTS
	YES	NO	
DENSITY CONSIDERATIONS Only one dwelling is permitted per lot.			
SITE CONSIDERATIONS Dwellings to comply with the specific requirements of the <i>Maitland Development Control Plan – Part C – Design Guidelines – Residential Design</i> in regards to the following considerations: <ul style="list-style-type: none"> • Building setbacks – sections 5 & 6 • Boundary wall requirements – section 6 • Site coverage and unbuilt areas – section 7 • Building height, bulk and scale – section 8. 			
PRIVATE OPEN SPACE Minimum 20% of lot area with a minimum dimension of 2.5 m.			
PRINCIPAL PRIVATE OPEN SPACE Minimum area of 25 m ² with a minimum dimension of 3 m. Directly accessible from internal living areas with a maximum slope of 1:10.			
SOLAR ACCESS Main indoor living areas and principal private open space areas oriented to the north. Living room windows of subject and neighbouring dwellings comply with solar access requirements. Principal private open space of the subject and neighbouring dwellings comply with solar access requirements.			
RETAINING WALLS Existing retaining walls have not been altered or removed. Proposed retaining walls match the appearance of existing developer provided retaining walls. Maximum height of proposed retaining walls at 1 m, unless structural certification has been provided. Maximum retaining fill on boundary at 600 mm. Maximum retaining cut on boundary at 900 mm. All site works comply with 'Section 4 – bulk earthworks and retaining walls' of the <i>Maitland Development Control Plan – Part C – Design Guidelines – Residential Design</i> .			
FRONT ELEVATION At least one major opening to a habitable room has been provided to all elevations with a publicly visible street frontage. Dwellings without a direct street frontage have provided at least one major opening to a habitable room overlooking the driveway. Dwellings provide a well-defined front door and entry element. Corner lot dwellings have addressed both streets by extending their primary elevation features to the secondary street elevation, where forward of a return fence. Front elevation has been articulated with at least 1 step in the floor plan mirrored in the roof design of a minimum of 600 mm (excluding garage). A minimum of two architectural features have been incorporated into the primary and secondary (in the case of corner lots) elevations.			

DESIGN APPROVAL CHECKLIST

DESIGN GUIDELINE REQUIREMENTS	COMPLIANCE		COMMENTS
	YES	NO	
MAIN ROOF Minimum 25 degree and maximum 35 degree hipped roof. 450 mm minimum eave overhang (flush eaves permitted to specified areas). 300 mm minimum gable overhang.			
CAR PARKING STRUCTURE Carport/garage located a minimum of 1 m behind the main building line. May be located in line with the main building line if a substantial entry feature projects a minimum of 1 m forward of the garage. Garage/carport width is no more than 50% of the lot width. Lots 13 m or wider contain a double garage/carport. Single or tandem garage/carport only provided on lots less than 13 m wide. Triple garages not permitted. Garage/carport integrated with the dwelling and consistent with the form, materials and colours of the home. Fence and gate provided to back of open carport to separate rear yard from carport. Fence and gate is complementary to the dwelling and estate fencing. All garages/carports comply with 'Section 9 – external appearance' of the <i>Maitland Development Control Plan – Part C – Design Guidelines – Residential Design</i> .			
DRIVEWAY AND FOOTPATH Crossovers at a maximum width of 5 m Driveways are brick, concrete or stone pavers in a charcoal or grey colour. Crossovers constructed of plain grey concrete. Pedestrian pathway provided, from driveway or front of lot. Footpaths are not interrupted by driveways. All driveways comply with 'Section 15 – Driveway access and carparking' of the <i>Maitland Development Control Plan – Part C – Design Guidelines – Residential Design</i> .			
SERVICES Services, solar hot water units and rubbish bins screened from public view. Utility meter boxes located in least visually obtrusive location from public view, painted to match the wall colour. 'Crimsafe' or equivalent security mesh products used to publicly visible elevations. Roller shutters or security screens not permitted.			
OUTBUILDINGS Outbuildings located behind street setback lines and behind any boundary fencing. Outbuildings greater than 24 m ² constructed of the same materials, colours and finishes of the main dwelling. If less than 24 m ² , in complimentary materials and colours.			
FENCING Front fencing generally not permitted throughout the estate. Maximum 1.8 m high timber paling fence provided to the side and rear. Side fence return setback at a minimum of 1 m behind the main dwelling. Secondary street fence setback a minimum of 4 m from the front of the dwelling.			

DESIGN APPROVAL CHECKLIST

DESIGN GUIDELINE REQUIREMENTS	COMPLIANCE		COMMENTS
	YES	NO	
LANDSCAPING Native or water wise plants to a minimum 50% of the front yard. Hardscapes to a maximum 20% of the front yard. Turf to a maximum 30% of the front yard. A minimum of 2 semi-mature trees to the front yard. Built in masonry letterbox in approved style and colour located adjacent to the driveway/footpath.			
MATERIALS AND COLOURS Main wall and feature wall materials comply with material selections. Dwelling colours comply with selected colour palette. Custom orb profile metal roof or flat profile roof tiles have been provided. Streamlined horizontal profile garage door provided in complementary colour to chosen colour palette.			
DRESS CIRCLE PRECINCT If your home falls within the 'Dress circle precinct', the following additional conditions are applicable: <ul style="list-style-type: none"> • a minimum of three materials/colours to primary and secondary elevations • a minimum of two architectural features to all visible elevations (excluding secondary colour/material) • flat profile metal roof in approved colour has been provided. 			
PARKLAND PRECINCT If your home falls within the 'Parkland precinct', the following additional conditions are applicable: <ul style="list-style-type: none"> • a front verandah with a separate roof and supporting posts, pillars or piers to a minimum 30% of the front elevation (excluding garage/carport), and at least 1.5m deep • a minimum of two architectural features to all visible elevations (excluding verandah). 			

SUGGESTED PLANT SPECIES

BOTANICAL NAME	COMMON NAME	APPROX. HEIGHT
SHRUBS AND PERENNIALS		
<i>Acmena smithii</i> 'Allyn Magic'	Lillypilly	0.5-1m
<i>Acmena smithii</i> 'Forest Flame'	Lillypilly	2m
<i>Acmena smithii</i> 'Minor' 'Cherry Surprise'	Lillypilly	3m
<i>Acmena smithii</i> 'Red Head'	Lillypilly	6m
<i>Acmena smithii</i> 'Sublime'	Lillypilly	5m
<i>Adenanthos sercieus</i> 'Baby Wooly Bush'	Wooly Bush	1.5m
<i>Arthropodium cirratum</i>	NZ Rock Lily	0.5m
<i>Callistemon</i> 'Little John'	Bottlebrush	1m
<i>Callistemon</i> 'Matthew Flinders'	Bottlebrush	0.75m
<i>Callistemon</i> 'Mauve Mist'	Bottlebrush	3m
<i>Callistemon</i> 'White Anzac'	Bottlebrush	2m
<i>Correa alba</i>	Native Fuchsia	0.5-2m
<i>Correa</i> 'Pink Frost'	Native Fuchsia	0.4m
<i>Correa</i> 'Pink Pixie'	Native Fuchsia	1m
<i>Correa</i> 'Tucker Time Dawn Bells'	Native Fuchsia	0.8m
<i>Daphne</i> 'Eternal Spring Pink Fragrance'	Daphne	0.6m
<i>Darwinia citriodora</i>	Lemon Scented Myrtle	1.5-2m
<i>Dietes grandiflora</i>	Wild Iris	1m
<i>Dodonaea viscosa</i> 'Purpurea'	Purple Leaf Hop Bush	3m
<i>Eriostemon australasius</i>	Pink Waxflower	1-2m
<i>Eriostemon buxifolius</i> 'Cascade of Stars'	Box Leaf Wax Flower	1m
<i>Eriostemon myoporoides</i>	Long Leaf Wax Flower	3m
<i>Escallonia</i> 'Apple Blossom'	Escallonia	1.5m
<i>Escallonia</i> 'Iveyi'	Escallonia	1.5m
<i>Escallonia</i> 'Pink Pixi'	Escallonia	0.8m
<i>Gardenia</i> 'Four Seasons'	Gardenia	1m
<i>Gardenia</i> 'Grandiflora Star'	Gardenia	75cm
<i>Gardenia</i> 'Magnifica'	Gardenia	1.5m
<i>Grevillea</i> 'Elegance'	Grevillea	4m
<i>Grevillea</i> 'Misty Pink'	Grevillea	3m
<i>Grevillea</i> 'Moonlight'	Grevillea	5m
<i>Grevillea</i> 'Mt Tamboritha'	Grevillea	0.4m
<i>Grevillea</i> 'Ned Kelly'	Grevillea	1.2m

BOTANICAL NAME	COMMON NAME	APPROX. HEIGHT
<i>Grevillea</i> 'Scarlet Sprite'	Grevillea	1m
<i>Grevillea</i> 'Superb'	Grevillea	1m
<i>Lavandula angustifolia</i> 'Munstead'	Dwarf Lavender	0.5m
<i>Lavandula</i> 'Avonview'	Italian Lavender	0.8m
<i>Lavandula dentata</i>	French Lavender	1m
<i>Lavandula stoechas</i>	Italian Lavender	0.5m
<i>Leptospermum</i> 'Lemon Bun'	Tea Tree	0.45-1m
<i>Leptospermum</i> 'Mozzie Blocker'	Tea Tree	0.6-1.2m
<i>Leptospermum</i> 'White Wave'	Tea Tree	0.5m
<i>Leucadendron</i> 'Devil's Blush'	Devil's Blush	1m
<i>Leucadendron laureolum</i> x <i>salignum</i>	Safari Sunset	2.5m
<i>Leucadendron salignum</i>	Red Devil	1.5m
<i>Melaleuca</i> 'Claret Tops'	Claret Tops	1.5m
<i>Melaleuca thymifolia</i>	Honey Myrtle	0.8m
<i>Metrosideros excelsa</i> 'Lighthouse'	NZ Christmas Bush	3m
<i>Metrosideros</i> 'Tahiti'	NZ Christmas Bush	2m
<i>Metrosideros vilosa</i> 'Fiji Fire'	NZ Christmas Bush	1m
<i>Michelia</i> 'Bubbles'	Evergreen Magnolia	5m
<i>Michelia doltsopa</i> 'Silver Cloud'	Evergreen Magnolia	5m
<i>Michelia figo</i> 'Coco'	Evergreen Magnolia	2m
<i>Michelia</i> 'Mixed up Miss'	Evergreen Magnolia	3-4m
<i>Michelia</i> 'Summer Bronze'	Evergreen Magnolia	2m
<i>Michelia yunnanensis</i> 'Scented Pearl'	Evergreen Magnolia	3m
<i>Murraya paniculata</i>	Orange Jessamine	3m
<i>Murraya paniculata</i> 'Min-a-min'	Dwarf Orange Jessamine	0.5m
<i>Nandina domestica</i> 'Gulf Stream'	Sacred Bamboo	0.5m
<i>Nandina domestica</i> 'Blush'	Sacred Bamboo	0.6m
<i>Nandina domestica</i> 'Flirt'	Sacred Bamboo	0.4m
<i>Nandina domestica</i> 'Moonbay'	Sacred Bamboo	0.75m
<i>Osmanthus delavayi</i> 'Heaven Scent'	Osmanthus	1.5-2m
<i>Osmanthus delavayi</i> 'Pearly Gates'	Osmanthus	1.5-2m
<i>Osteospermum</i> sp.	African Daisy	0.4-0.6m
<i>Prostanthera cuneata</i> 'Cool Mint'	White Mint Bush	0.7m
<i>Prostanthera ovalifolia</i>	Purple Mint Bush	2m

SUGGESTED PLANT SPECIES

BOTANICAL NAME	COMMON NAME	APPROX. HEIGHT
<i>Prostanthera rotundifolia</i>	Round-leaved Mint Bush	1.5m
<i>Prostanthera sieberi</i> 'Minty'	Purple Mint Bush	1m-1.8m
<i>Rosmarinus officinalis</i>	Rosemary	1m
<i>Viburnum odoratissimum</i> 'Emerald Lustre'	Sweet Viburnum	4m
<i>Viburnum tinus</i>	Laurustinus	2.5-4m
<i>Westringia 'Mundi'</i>	Native Rosemary	0.4m
<i>Westringia 'Wynyabbie Gem'</i>	Native Rosemary	1.5m
<i>Westringia 'Wynyabbie Gem Nana'</i>	Native Rosemary	0.6m
<i>Westringia 'Zena'</i>	Native Rosemary	0.9m
ACCENT PLANTS		
<i>Agave attenuata</i>	Soft-leaved Agave	1m
<i>Agave stricta</i>	Hedgehog Agave	0.3m
<i>Cordyline australis</i> 'Kirkii'	Cordyline	1m
<i>Cordyline 'Choc Mint'</i>	Cordyline	2m
<i>Cordyline 'Renegade'</i>	Cordyline	1m
<i>Doryanthes excelsa</i>	Gynea Lily	2m
<i>Yucca 'Bright Edge'</i>	Blue leaved Yucca	0.6m
<i>Yucca desmetiana</i> 'Spellbound'	Purple Yucca	1.2m
<i>Yucca elephantipes</i>	Yucca	4m
<i>Yucca gloriosa</i>	Candle Yucca	2.4m
<i>Yucca gloriosa</i> 'Roman Candle'	Candle Yucca	0.6m
<i>Yucca gloriosa</i> 'Spanish Dancer'	Candle Yucca	1m
GROUND COVERS AND CLIMBERS		
<i>Ajuga reptans</i> 'Black Scallop'	Bugle Weed	0.1m
<i>Ajuga reptans</i> 'Caitlins Giant'	Bugle Weed	0.3m
<i>Arctotis</i> sp.	African Daisy	0.25m
<i>Armeria maritima</i> 'Pink Thrift'	Thrift	0.3m
<i>Brachyscome multifida</i>	Cut Leaf Daisy	0.3m
<i>Brunoniella australis</i>	Blue Trumpet	0.5m
<i>Carpobrotus glaucescens</i>	Pig face	0.2m
<i>Dichondra repens</i>	Kidney Weed	0.2m
<i>Dichondra</i> 'Silver Falls'	Dichondra Silver Falls	0.3m
<i>Dipladenia sanderii</i> 'Scarlet Pimpernel'	Brazilian Jasmine	2m

BOTANICAL NAME	COMMON NAME	APPROX. HEIGHT
<i>Goodenia hederacea</i>	Goodenia	0.3m
<i>Hibbertia scandens</i>	Guinea Flower	0.3m
<i>Jasminum officinale</i>	Common Jasmine	climber
<i>Juniperus conferta</i>	Shore Juniper	0.3m
<i>Myoporum parvifolium</i>	Creeping Boobialla	0.2m
<i>Pratia purpurascens</i>	White Root	0.15m
<i>Trachelospermum jasminoides</i>	Star Jasmine	0.3m
<i>Trachelospermum jasminoides</i> 'Tricolor'	Star Jasmine	0.3m
<i>Viola hederacea</i>	Native Violet	0.1m
GRASSES AND STRAPPY LEAF		
<i>Dianella caerulea</i> 'Breeze'	Flax Lily	0.6m
<i>Dianella caerulea</i> 'Little Jess'	Flax Lily	0.3m
<i>Dianella tasmanica</i> 'Emerald Arch'	Flax Lily	0.45m
<i>Dianella tasmanica</i> 'Splice'	Flax Lily	0.6m
<i>Dianella tasmanica</i> 'Tasred'	Flax Lily	0.40m
<i>Eragrostis elongata</i> 'Elvera'	Lavender Grass	0.35m
<i>Isolepis nodosa</i>	Knobby Club Rush	0.3m
<i>Juncus usitatus</i>	Spiny Rush	0.5m
<i>Liriope muscari</i> 'Evergreen Giant'	Liriope	0.7m
<i>Liriope muscari</i> 'Isabella'	Liriope	0.45
<i>Liriope muscari</i> 'Joy Mist'	Liriope	0.5m
<i>Liriope muscari</i> 'Monroe's White'	Liriope	0.45m
<i>Liriope muscari</i> 'Variegatum'	Liriope	0.3m
<i>Lomandra confertifolia</i> 'Crackerjack'	Mat Rush	0.45m
<i>Lomandra confertifolia</i> 'Little Con'	Mat Rush	0.4m
<i>Lomandra confertifolia</i> 'SIR 5' 'Wingarra'	Mat Rush	0.3m
<i>Lomandra confertifolia</i> 'Tilga	Mat Rush	0.7m
<i>Lomandra filiformis</i> 'Lime Spike'	Mat Rush	0.2m
<i>Lomandra hystrix</i> 'Tropicbelle'	Mat Rush	1.2m
<i>Lomandra longifolia</i>	Mat Rush	1m
<i>Lomandra longifolia</i> 'Katrinus Deluxe'	Mat Rush	0.75m
<i>Lomandra longifolia</i> 'Lime Jet'	Mat Rush	0.70m
<i>Ophiopogon japonicus</i>	Mondo Grass	0.3m
<i>Ophiopogon japonicus</i> 'Nana'	Dwarf Mondo Grass	0.1m

SUGGESTED PLANT SPECIES

BOTANICAL NAME	COMMON NAME	APPROX. HEIGHT
<i>Ophiopogon planiscapus</i> 'Nigrescens'	Black Mondo Grass	0.3m
<i>Ophiopogon</i> 'Stripey White'	White Mondo Grass	0.3-0.4m
<i>Pennisetum alopecuroides</i> 'Cream Lea'	Foxtail Grass	1-1.5m
<i>Pennisetum alopecuroides</i> 'Black Lea'	Foxtail Grass	1m
<i>Pennisetum alopecuroides</i> 'Nafray'	Foxtail Grass	0.6m
<i>Pennisetum alopecuroides</i> 'Pennstripe'	Foxtail Grass	0.45m
<i>Pennisetum alopecuroides</i> 'Purple Lea'	Foxtail Grass	1m
<i>Poa</i> 'Kingsdale'	Blue Tussock Grass	0.45m
<i>Poa labillardieri</i> 'Eskdale'	Blue Tussock Grass	0.6m
<i>Themeda australis</i> 'Mingo'	Kangaroo Grass	0.3m
<i>Xanthorrhoea</i> sp.	Grass Tree	3m
<i>Zephyranthes candida</i>	Autumn Crocus	0.3m

SMALL TO MEDIUM TREES

<i>Acacia decurrens</i>	Sydney Green Wattle	3-10m
<i>Acacia falcata</i>	Sickle Wattle	5m
<i>Acacia floribunda</i>	White Sallow Wattle	6m
<i>Acer japonicum</i>	Japanese Maple	3.5m
<i>Acer palmatum</i>	Japanese Maple	3m
<i>Acer platanoides</i>	Mop Top Maple	5m
<i>Acer rubrum</i>	October Glory Maple	6m
<i>Acmena smithii</i>	Lillypilly	5m
<i>Agonis flexuosa</i>	Willow Myrtle	8m
<i>Allocasuarina littoralis</i>	Black She-Oak	8m
<i>Allocasuarina torulosa</i>	Forest She-Oak	7m
<i>Backhousia citriodora</i>	Lemon-scented Myrtle	7m
<i>Backhousia myrtifolia</i>	Grey Myrtle	7m
<i>Brachychiton acerifolius</i>	Illawarra Flame Tree	10m
<i>Buckinghamia celsissima</i>	Ivory Curl Flower	6m
<i>Callistemon</i> 'Dawsons River Weeper'	Weeping Bottlebrush	6m
<i>Callistemon</i> 'Hannah Ray'	Bottlebrush	4m
<i>Callistemon</i> 'Kings Park Special'	Bottlebrush	6m
<i>Callistemon salignus</i>	White Bottlebrush	4m
<i>Callistemon viminalis</i>	Weeping Bottlebrush	5m
<i>Catalpa bignonioides</i> 'Nana'	Designer Catalpa	5m

BOTANICAL NAME	COMMON NAME	APPROX. HEIGHT
<i>Ceratopetalum</i> 'Albery's Red'	NSW Christmas Bush	5m
<i>Ceratopetalum</i> 'White Christmas'	NSW Christmas Bush	4m
<i>Cercis canadensis</i> 'Forest Pansy'	Forest Pansy	5m
<i>Corymbia citriodora</i> 'Lemon Squash'	Dwarf Lemon-Scented Gum	6m
<i>Corymbia</i> 'Orange Splendour'	Orange Flowering Gum	5m
<i>Corymbia</i> 'Summer Pink'	Pink Flowering Gum	5m
<i>Corymbia</i> 'Summer Red'	Red Flowering Gum	5m
<i>Cupaniopsis anarcardioides</i>	Tuckeroo	10m
<i>Elaeocarpus eumundii</i>	Eumundi Quondong	8m
<i>Elaeocarpus reticulatus</i>	Blueberry Ash	9m
<i>Elaeocarpus reticulatus</i> 'Prima Donna'	Pink Flowering Blueberry Ash	9m
<i>Fraxinus excelsior</i> 'Aurea'	Golden Ash	8m
<i>Fraxinus griffithii</i>	Evergreen Ash	8m
<i>Fraxinus ornus</i> 'Meczek'	Designer Flowering Ash	5m
<i>Fraxinus oxycarpa</i> 'Raywoodii'	Claret Ash	10m
<i>Glochidion ferdinandi</i>	Cheese Tree	8m
<i>Harpullia pendula</i>	Tullipwood	8m
<i>Jacaranda mimosifolia</i>	Jacaranda	10m
<i>Koelreuteria paniculata</i>	Golden Rain Tree	10m
<i>Lagerstroemia indica</i> 'Natchez'	Crepe Myrtle	8m
<i>Lagerstroemia</i> 'Lipan'	Crepe Myrtle	4m
<i>Lagerstroemia</i> 'Sioux'	Crepe Myrtle	4m
<i>Lagerstroemia</i> 'Yuma'	Crepe Myrtle	4m
<i>Leptospermum petersonii</i>	Lemon-scented Tea Tree	5m
<i>Macadamia tetraphylla</i>	Macadamia Nut	10m
<i>Magnolia grandiflora</i> 'Greenback'	Greenback Magnolia	10m
<i>Magnolia grandiflora</i> 'Kay Parris'	Evergreen Magnolia	4m
<i>Magnolia grandiflora</i> 'Little Gem'	Little Gem Magnolia	4m
<i>Magnolia grandiflora</i> 'Teddy Bear'	Teddy Bear Magnolia	4m
<i>Magnolia quinquepeta</i> 'Nigra'	Lily Magnolia	4m
<i>Magnolia stellata</i>	Star Magnolia	4m
<i>Magnolia</i> 'Vulcan'	Vulcan Magnolia	5m
<i>Magnolia x soulangiana</i>	Saucer Magnolia	5m
<i>Magnolia x soulangiana</i> 'Felix'	Magnolia	5m

SUGGESTED PLANT SPECIES

BOTANICAL NAME	COMMON NAME	APPROX. HEIGHT
<i>Malus ioensis</i> 'Plena'	Bechtel Crab Apple	6m
<i>Melaleuca armillaris</i>	Bracelet Honey Myrtle	4m
<i>Melaleuca bracteata</i>	White Cloud Tree	7m
<i>Melaleuca decora</i>	White Feather Honey Myrtle	10m
<i>Melaleuca linariifolia</i>	Snow in Summer	8m
<i>Melaleuca nodosa</i>	Ball Honey Myrtle	7m
<i>Melaleuca styphelioides</i>	Prickly Paperbark	10m
<i>Nyssa sylvatica</i>	Tupelo	10m
<i>Pyrus calleryana</i> 'Chanticleer'	Ornamental Pear	7m
<i>Pyrus fauriei</i> 'Westwood' Korean Sun	Ornamental Pear	4m
<i>Pyrus ussuriensis</i>	Manchurian Pear	7m
<i>Syzygium australe</i> 'Pinnacle'	Lilly Pilly	6m
<i>Syzygium</i> 'Cascade'	Weeping Lilly Pilly	5m
<i>Tristaniopsis laurina</i> 'Luscious'	Luscious Water Gum	8m
<i>Waterhousia floribunda</i> 'Sweeper'	Weeping Lillypilly	8m

LARGE TREES (NOT SUITABLE FOR BLOCKS UNDER 600M²)

<i>Angophora floribunda</i>	Rough Barked Apple	20m
<i>Casuarina cunninghamiana</i>	River Oak	15m
<i>Casuarina glauca</i>	Swamp Oak	15m
<i>Ceratopetalum apetalum</i>	Coachwood	13m
<i>Corymbia maculata</i>	Spotted Gum	20m
<i>Eucalyptus acmenoides</i>	White Mahogany	30m
<i>Eucalyptus deanei</i>	Mountain Blue Gum	30m
<i>Eucalyptus microcorys</i>	Tallow Wood	30m
<i>Eucalyptus pilularis</i>	Blackbutt	30m
<i>Eucalyptus saligna</i>	Sydney Blue Gum	40m
<i>Eucalyptus scias</i>	Large-fruited Red Mahogany	20m
<i>Karpephyllum cafrum</i>	Kaffier Plum	12m
<i>Lophostemon confertus</i>	Brush Box	14m
<i>Magnolia denudata</i>	Yulan Magnolia	15m
<i>Melaleuca quinquenervia</i>	Broad Leafed Paper Bark	12m
<i>Michelia champaca</i>	Golden Champaca	15m
<i>Pistacia chinensis</i>	Chinese Pistachio	6m

BOTANICAL NAME	COMMON NAME	APPROX. HEIGHT
<i>Pyrus calleryana</i>	Callery Pear	13m
<i>Quercus palustris</i>	Pin Oak	15m
<i>Quercus robur</i>	English Oak	15m
<i>Syncarpia glomulifera</i>	Turpentine	30m
<i>Ulmus glabra</i> 'Lutescens'	Golden Scotch Elm	12m
<i>Ulmus parvifolia</i>	Chinese Elm	15m
<i>Zelkova serrata</i>	Japanese Zelkova	20m